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Addendum No. 4

**To Offerors: Request for Proposals
Abatement and Demolition Services
BVRI-002 – 1601 E Lombard Street**

Date Issued: April 28, 2025

This addendum is hereby made part of the Request for Proposals dated April 4, 2025, as amended, on the subject work as though originally included therein. The following amendments, additions, and/or corrections shall govern this solicitation.

This addendum incorporates the following items:

1. The Question Due Date was postponed. Questions are now due on April 30, 2025, at 1:00 p.m., Local Time.
2. The Technical and Financial Proposal Closing Date and Time was postponed. The new Closing Date and Time is May 9, 2025, at 1:00 p.m., Local Time.
3. An updated Attachment F – Pricing Form is attached hereto, and can be accessed via the ShareFile link below:
<https://mdstad.sharefile.com/d-sade06070173941f7be0c0781bc28c848>.
4. Section 4.1 a) Separation of Technical Proposal and Financial Proposal has been amended to read as follows:

“[...]

To clarify, the inclusion or suggestion of any financial information in the technical Proposal is explicitly prohibited. This includes, but is not limited to, Offeror's budget estimates, or project specific bonding limits. Offeror's failure to follow this separation requirement may result in the determination that the proposal is not susceptible of being selected for award.”

5. A copy of a second set of questions and the respective answers is attached hereto.

Note: All addenda must be acknowledged by the Offeror in the Technical Proposal.


Christian Kramer
Procurement Officer

Attachments

ATTACHMENT F
Pricing Form R3
Request for Proposals
Abatement and Demolition Services
BVRI-002

Proposing Firm Name:

Proposal Date:

SUMMARY

Base Service Description	Subtotal Base Bid (B1-B6)	Subtotal Allowances (A1 - A6)	Subtotal Base Bid Plus Allowances	10% Owner Contingency	Base Total
1601 E Lombard Street	\$0.00	\$50,000.00	\$50,000.00	\$5,000.00	\$55,000.00
Total:					\$55,000.00

ATTACHMENT F
Pricing Form R3
Request for Proposals
Abatement and Demolition Services
BVRI-002

Proposing Firm Name: _____

Proposal Date: _____

Base Services

	Base Service Description	Base Cost *		Total Base Cost
B1	Perform rodenticide services in accordance with the requirements of the RFP.		/LS	\$0.00
B2	Provide Structural/Civil Engineer and report in accordance with the requirements of the RFP.		/LS	\$0.00
B3	Furnish, install, maintain and remove site security fencing, concrete barriers and sediment erosion control measures in accordance with the requirements of the RFP.		/LS	\$0.00
B4	Perform abatement / demolition and debris removal operations (inclusive of trees and brush within site, AST, UST) in accordance with the requirements of the RFP. All debris to be hauled off and disposed to acceptable and MSA approved disposal locations.		/LS	\$0.00
B5	Perform removal and disposal of concrete parking pad area inclusive of brick retaining wall and fencing in accordance with the requirements of the RFP.		/LS	\$0.00
B6	Perform backfill with clean, MSA approved fill, site stabilization (topsoil / seeding) operations in accordance with the requirements of the RFP.		/LS	\$0.00
Subtotal Base Services (B1-B6)				\$0.00

ATTACHMENT F
Pricing Form R3
Request for Proposals
Abatement and Demolition Services
BVRI-002

Proposing Firm Name: _____

Proposal Date: _____

Allowances

	Allowance Description	Unit Cost *		Allow for		Total Allowance Cost
A1	Complete domestic water and sanitary abandonment services in accordance with the requirements of the RFP.		/Ea	6	/Ea	\$0.00
A2	Removal of excessive outside trash and debris located within and throughout the entire building. Assume 20 yard dumpsters.		/Ea	15	/Ea	\$0.00
A3	Allowance established by MSA for any Hazmat Material discovered during abatement activities that was not identified in the provided Hazmat Report.					\$50,000.00
A4	Decommissioning and removal of any additional storage tanks discovered during the demolition process. Assume tanks to be 4,000 gallons and oil filled.		/Ea	3	/Ea	\$0.00
A5	Excavate and dispose of contaminated soils adjacent to any discovered underground storage tanks. Unit costs to include labor and equipment to remove and dispose of contaminated soils in the event the UST is determined to have		/CY	150	/Ea	\$0.00
A6	Removal and installation of new concrete sidewalks in accordance with the requirements of the RFP (3in CR-6 base and 5in Mix No 2. concrete)		/SF	17,500	/SF	\$0.00
Subtotal Allowances (A1-A6)						\$50,000.00

ATTACHMENT F
Pricing Form R3
Request for Proposals
Abatement and Demolition Services
BVRI-002

Proposing Firm Name: _____

Proposal Date: _____

Other**			
	Other Description	Unit Cost *	
O1	Please provide a per ton unit rate credit in the event rebar is recycled at an accepting facility. Refer to structural drawings S-01 through S-16 for locations of reinforced concrete, including but not limited to: footings, grade beams, concrete walls, slab-on-grade, topping slabs, retaining wall and stairs.		/Ton
O2	Please provide a per truck load unit rate credit in the event suitable material is discovered under asphalt parking area and is approved for use.		/Load
O3	Please provide a per working day rate for vibration monitoring services during demolition. If vibration-sensitive structures or utilities are adjacent to the demolition zone, monitoring may be required to ensure compliance with applicable local standards.		/Day

*Costs include required administration, permitting, documentation and reporting requirements.

**These "Other" cost are not included in the overall costs but rather stand alones that will be used for the final contract modification during closeout, if necessary.


**Request for Proposals
Preliminary Design Services
BVRI-002**

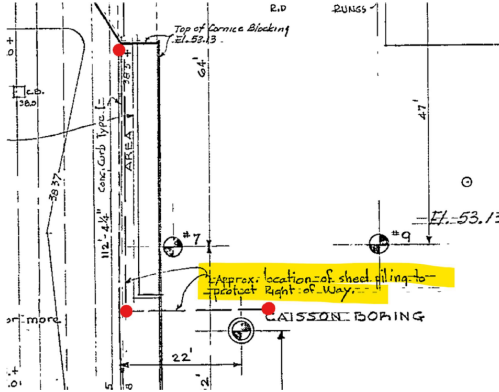
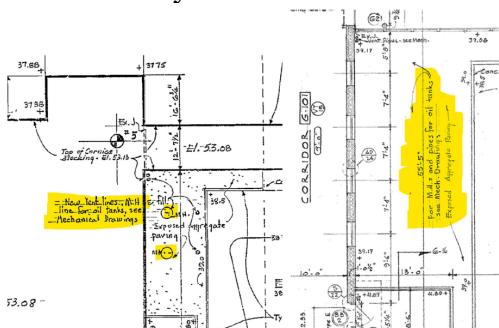
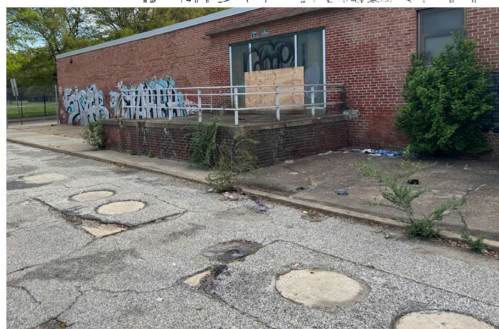
Questions and Answers No.2 (QAA2)

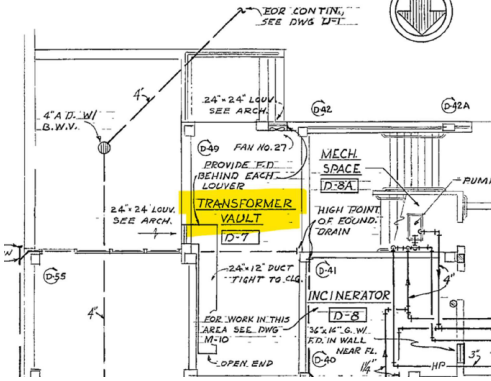
	Question	Answer
1.	Is this project for school building demolition, or is it just a parking lot demo?	MSA is seeking abatement and demolition services for the entire building and site footprint, inclusive of the parking lot. Please review the Scope of Services in the RFP.
2.	Can we crush on site?	Contractors should not assume on-site crushing will be allowed but may propose it as a value engineering option in their work plan, subject to MSA review and approval. Please be specific to permitting requirements, materials anticipated to be crushed and dust suppression methods. Regardless, the reuse of any crushed material as backfill is not permitted under this RFP. Any crushed material would still need to be hauled offsite.
3.	<i>Intentionally omitted.</i>	
4.	Is it possible to set an allowance or a unit price per dumpster for misc. debris in the building? This would help eliminate guessing and keep everyone's pricing in line with each other.	Yes. Please see revised Financial Form issued via this Addendum 4.
5.	How many layers of roofing are on the existing roof?	Access to the site for roof composition and number of layers is open to be verified in the field by the Contractor. Please also refer to the provided As-Builts.
6.	How thick is the slab on grade?	Please refer to structural drawings S01-S016 for details.
7.	How deep do the building footings run?	Please refer to structural drawings S01-S016 for details.

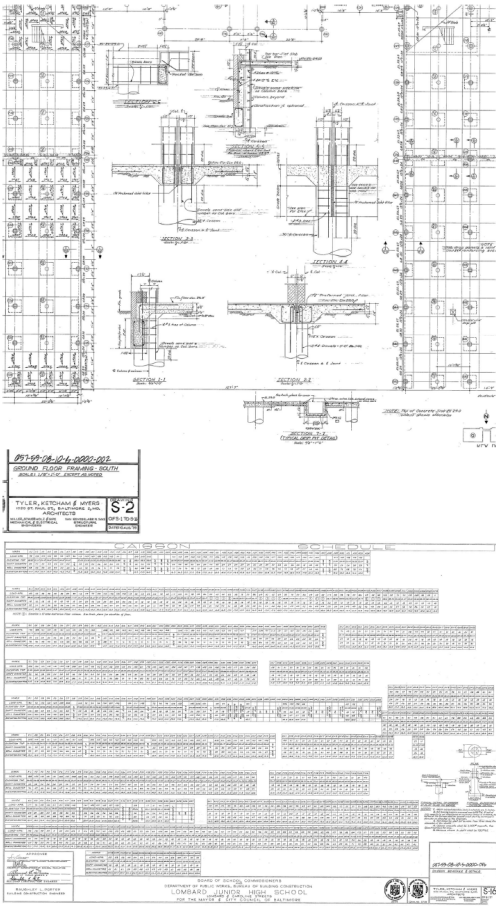
	Question	Answer
8.	<i>Intentionally omitted.</i>	
9.	Please confirm all hazmat remediation are as identified and quantified based on provided hazmat reports.	<p>The report includes confirmed asbestos, lead-based paint (LBP), fluorescent lamps, mercury thermostats, PCB-containing ballasts, refrigerants, and associated hazardous materials.</p> <p>However, as noted in Section 3.3 of the report, some areas were inaccessible at the time of the survey, and stored chemicals or other hazardous waste may still be present in the building. An allowance will be added to the Pricing Form to accommodate for any additional hazmat discovered onsite not included in the provided hazmat report. Any additional suspect materials encountered during demolition must be managed in compliance with applicable OSHA, EPA, and state environmental regulations.</p>
10.	Per the hazmat report, the cost estimate per section 4.3 quantities does not match with the 4.1 section table of asbestos analysis results. Please advise on which quantities to use for bidding purposes.	<p>In addition to the results presented in Section 4.1 of the hazardous materials report, Section 4.2 indicates that material quantities must be verified by the abatement contractor due to areas being inaccessible during the assessment. Section 4.3 includes estimated quantities for planning purposes. Offerors should anticipate the possibility of encountering additional hazardous materials during demolition and price accordingly. Any unforeseen conditions will be addressed in coordination with MSA during the course of work. An allowance will be added to accommodate for any additional hazmat discovered onsite not included in the hazmat report provided in the RFP.</p>

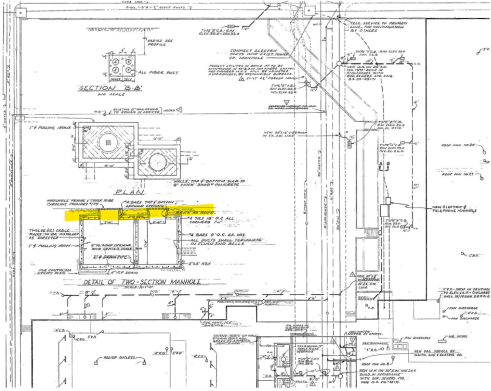
	Question	Answer
11.	Please provide full specs on MSA approved fill materials to be used for this job site.	Please refer to the RFP's Project Manual and Technical document, Section 02300-Earthwork. Contractors must submit material test reports verifying classification (ASTM D 2487) and compaction curves (ASTM D 698) for both on-site and borrow materials. MSA may reject fill that does not meet the requirements. Contractor shall anticipate fill to be clean and non-recycled material.
12.	Will there be a public bid opening?	This procurement is being conducted via the Competitive Sealed Proposal method. Proposals in response to this RFP will neither be opened, nor reviewed publicly.
13.	Please confirm Industrial Hygienist duration for this project is as required per MDE/EPA?	Confirmed.
14.	Please confirm the cut and cap referenced per scope item I.D.1 from attachment E is limited to the (2) cut/caps for water and sewer as listed per the attachment F under the allowances.	The allowance for number of utility abandonments will be increased. Please see revised Financial Form issued via this Addendum 4.
15.	Please provide size, quantity, type of content fluid, total gallons, and tank material of all ASTs to be removed as referenced in the Attachment E section II.B.9.	Contractors shall anticipate and add to their fee in the financial proposal for the decommissioning and removal on one (1) heating oil filled 4,000 Gal above ground storage tank in their base financial proposal. The removal shall be under the supervision of a Certified Industrial Hygienist and MDE. An allowance will be established for any additional unidentified tanks that may be discovered. Please see revised Financial Form issued via Addendum 4.
16.	Per scope item II.A.2.b on Attachment E, please clarify the extent of existing sidewalks to be removed from the job site within the LOD.	Please refer to Addendum No. 3, Questions and Answers No.1, Q&A13.

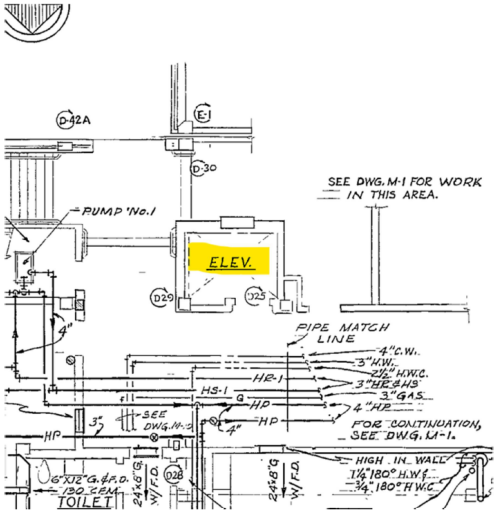
	Question	Answer
17.	Please provide location and/or layout drawing of new sidewalk to be installed based on the RFP requirements.	Please refer to Addendum No. 3, Questions and Answers No.1, Q&A13.
18.	Please provide sediment and erosion controls drawings as required for the installation called per the attachment E scope of work section I.D4.	Sediment and Erosion Control plans are to be provided by the Contractor in compliance with the RFP requirements. The contract documents require the installation of silt fencing around the entire perimeter of the project Limit of Disturbance (“LOD”). Inlet protect is also required where applicable.
19.	<i>Intentionally omitted.</i>	
20.	Should we consider it contaminated from the asbestos fittings that were on the piping that was cut out by “looters.” Please clarify action.	Yes. Additionally, they shall be assessed and managed accordingly by licensed and trained abatement personnel in compliance with OSHA and MDE regulations under the supervision of a Certified Industrial Hygienist.
21.	<p>Is this the only one fuel/oil tank located above ground on the Northside of the school, has it been decommissioned and properly cleaned? Please clarify action.</p> 	Please see answer to No. 15 of this QAA2.

	Question	Answer
22.	<p>057-1959-1A01.TIFF DRAWING A-1: Sector D shows sheet piling within Sector D for right of way protection. Please clarify action.</p> 	<p>Offerors are to assume for sheet piling to remain.</p>
23.	<p>057-1959-1A01.TIFF DRAWING A-1/ A-8: Sector G show information regarding oil tank venting manholes, indicating that there are below grade tanks within the building or below ground. Manholes do exist as shown below. Please clarify action.</p>  	<p>Please see answer to No. 15 of this QAA2.</p>

	Question	Answer
24.	Are there any refrigerators to be removed from any cooling units? Please clarify action.	Please refer to the provided Hazmat Report in Attachment L.1.
25.	Regarding the “abandoned and de-energized BGE substation”, I understand that it has been disconnected. Has BGE relinquished all rights to this equipment and is there any PCB or other chemicals needed to be removed and disposed? Please clarify action.	BGE equipment is to be removed and disposed of to an approved landfill/facility. BGE has confirmed de-energization, abandonment and removal of metering equipment.
		
26.	Regarding all concrete foundation walls, footings, and basement floors, all are to be removed and disposed. Please clarify action.	Yes, they shall be removed in their entirety and disposed of to an approved and accepting facility.

	Question	Answer
27.	<p>In addition to the concrete foundation walls, footings, and basement floors, please clarify intent on the over 400 hundred caissons shown in the structural drawings throughout the entire foundations of the building (Average 18-30 in Caissons)?</p> <p>a. Are we leaving in place?</p> <p>b. Are we removing 1-2 feet below lowest basement grade?</p> <p>c. Are we removing to what depth?</p> <p>Please clarify action.</p> 	Caissons shall be removed and disposed.
28.	<p>Regarding the Parking Lot/Athletic area, are we to remove all the subbase as material as contaminated, unsuitable, or does it remain in place? Please clarify action.</p>	<p>Offerors shall assume that the subbase is neither clean, nor suitable, and shall include full removal in the base financial proposal. If it turns out to be tested suitable material, MSA can evaluate approval and reuse at that point.</p>

	Question	Answer
29.	<p>057-1959-1A01.TIFF DRAWING U-1: Regarding the Parking Lot/Athletic area, It appears that there may be structures in the area which may be exposed if any subbase is removed. Please clarify action.</p> 	<p>Please proceed assuming all structures within the LOD are to be removed, or protected as required, and any third-party utility conflicts will be addressed during coordination with MSA.</p>
30.	<p>Regarding ALL required permits therefore Water usage costs, fire hydrant permit fee, Sidewalk closure permit fee, street closure permit fee, demolition permit fee, Notification fees, etc. is my understanding that the contractor is responsible to obtain these, however the acquisition cost will be the responsibility of the owner? Please clarify action.</p>	<p>Correct. Contractor is responsible for acquiring the permits through coordination with MSA, and there will be no cost to the Contractor.</p>
31.	<p>Regarding Electrical Power to the building, has it been disconnected and removed from the building whether above ground or below ground? In other words, no cable to disconnect or pull back whether from poles or electrical manhole below ground? Please clarify action.</p>	<p>Correct. Electrical power to the building has been fully disconnected and de-energized. To our knowledge, no live feeds, whether overhead or underground remain connected to the building. If any utility-owned lines are encountered, Contractor shall coordinate with MSA for verification before proceeding.</p>

	Question	Answer
32.	Regarding Communications (Telephone, Internet, Fiber optics, etc.) to the building, have they been disconnected and removed from the building whether above ground or below ground? In other words, no cable to disconnect or pull back whether from poles or communications manhole below ground? Please clarify action.	Communications service (telephone, internet, fiber optics, etc.) to the building is presumed to be inactive, If any live lines are encountered, they must be coordinated with MSA prior to removal.
33.	Regarding Gas to the building, has it been disconnected and terminated from the building? Please clarify action.	Gas service to the building has been disconnected and terminated at the source. No further disconnection from the building is required. If any active lines are encountered during demolition, Contractor shall notify MSA immediately.
34.	<p>057-1959-1A01.TIFF DRAWING U-1: Regarding the elevator, has all the hydraulic fluid been removed? Please clarify action.</p> 	MSA has no knowledge of the hydraulic fluid removal. Offerors shall assume fluid is present in demolition base financial proposal.
35.	<i>Intentionally omitted.</i>	
36.	<i>Intentionally omitted.</i>	

	Question	Answer
37.	The Project Manual requires in V.C.(c): Ensure disposal of demolition debris to MSA and EPA approved lined landfill. Are we taking all clean concrete to a landfill and not recycling?	Base financial proposal shall assume landfilling. Offerors may propose recycling as a value engineering option. This is subject to MSA approval.