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Addendum No. 3

**To Offerors: Request for Proposals
Abatement and Demolition Services
BVRI-002 – 1601 E Lombard Street**

Date Issued: April 22, 2025

This addendum is hereby made part of the Request for Proposals dated April 4, 2025, as amended, on the subject work as though originally included therein. The following amendments, additions, and/or corrections shall govern this solicitation.

This addendum incorporates the following items:

1. A copy of the Attachment T – Utility Mapping is attached hereto;
2. A copy of the Attachment U – Additional Drawings is attached to RFP via the ShareFile link below:
<https://mdstad.sharefile.com/d-sade06070173941f7be0c0781bc28c848>;
3. A copy of a first set of questions and the respective answers is attached hereto;
4. A copy of the Site-Visit registration list is attached hereto;
5. Section 4.3.a) of the RFP was amended to read as follows:

“1. Transmittal letter – The Transmittal Letter for the financial Proposal shall include the following:

 1. Legal Name and address of the Offeror;
 2. Offeror’s identification numbers:
 - a. Socio-economic certification numbers, if applicable, e.g., MBE and/or Small Business Reserve (“SBR”) certification number;
 - b. Federal Employer Identification Number (FEIN); and
 - c. eMMA account number;
 3. RFP Title and Number; and
 4. Signature of Authorized Representative, including typed name, and title of the individual authorized to commit the Offeror to its proposal;

2. Pricing Form attached hereto as Attachment F. Please note that all clarifications of the scope of services must be included in the Transmittal letter included in the Technical Proposal. Pricing forms that include any qualification or clarification will be rejected.

”

3. Bid and performance bonds - The following proposal security requirements are to be provided to MSA with the Financial Proposal. Failure to comply with these requirements will render the Offeror's proposal not reasonably susceptible of being selected for award.

[...]” And

6. An updated Attachment F – Pricing Form is attached hereto.

Note: For planning and cost purposes, Offerors have to anticipate encountering rebar in each concrete slab per floor of building, as well as in the footers. Provide a per ton unit rate credit in the event rebar is recycled at an accepting facility.

Note: In the event subbase material is suitable fill material, a proctor may be requested for reuse of material onsite. Provide a per truck load unit rate credit in the event suitable material is discovered under asphalt parking area and is approved for use

Note: All addenda must be acknowledged by the Offeror in the Technical Proposal.


Christian Kramer
Procurement Officer

Attachments

Baltimore City - Department of Public Works

**Request for Proposals
Preliminary Design Services
BVRI-002 – 1601 E Lombard Street**


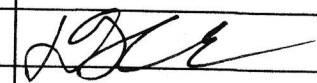
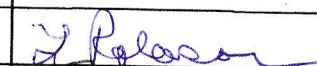
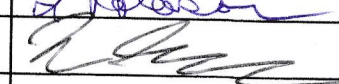
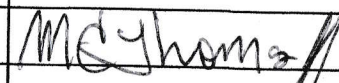

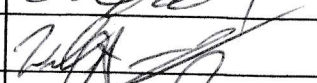

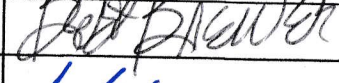

Questions and Answers No.1

	Question	Answer
1.	Is there an engineer's budget for bonding purposes?	An Engineer's budget will not be provided. Bidders should use their professional judgement to estimate bonding requirements based on the scope of work.
2.	Due to the site visit date and only one week away from submission, will there be a bid date extension to accommodate the late timeline in the site visit?	As of now, the Closing Date and Time for the submission of Proposals remains as stated in the RFP.
3.	In the FINANCIAL PROPOSAL requirement page 27 4.3 a 2: You are requesting performance bond, which is never issued prior to being awarded. How are you to address this requirement, which is part of the bid submission process?	Only the bid bond (5%) or alternatives mentioned in the RFP are required at the time of submission. The performance bond will be required after contract award.
4.	Section 4 4.2 a Under Technical Proposal/ Transmittal Letter – This section describes information that has to be on this transmittal letter. However, the Financial Proposal Section 4.3 a Seem to require ONLY: (a) the pricing form, (b) Bid bond 5% (except performance bonds, cannot be issued prior to awarding). Is this correct?	This section was amended via this Addendum No. 3 line item . The Financial Proposal requires: 1. Transmittal letter; 2. Financial Proposal Form (Attachment F); and 3. Bid/Proposal Bond.
5.	What are liquidated damages per day on this project?	At this time, the RFP does not assign a specific daily amount for construction related liquidated damages. However, please review Article 25 of the sample contract for liquidated damages requirements related to MBE and subcontractor payments.

	Question	Answer
6.	How many days for Substantial completion and Final Completion?	Offerors will be evaluated on the timeline they propose in their schedule. Their schedule must be submitted with their technical Proposal and shall be based on the scope of work provided for this Project.
7.	Attachment F, Second Page is very small. Can this be enlarged to the same size as page one?	Offerors are advised that the attachments to this RFP, including an editable Excel version of the Attachment F , are available via the ShareFile link included in the RFP-Section labelled Attachments.
8.	Regarding page 5 of the “Scope of Services”, are we removing the entire elevated fenced enclosed area or just the concrete/Asphalt?	The demolition scope includes removal of the entire concrete/asphalt and the elevated fenced enclosed area, inclusive of subbase material. In the event subbase material is suitable fill material, a proctor may be requested for reuse of material onsite.
9.	If we are removing the elevated areas, are there any as builds showing all utilities in the areas?	Existing as-built drawings are limited. Offerors are advised to locate utilities on their own prior to demolition.
10.	Are there any basements, it seems that some of these buildings continue below grade.	Yes. The successful Offeror will remove below-grade construction, including basements, foundation walls and footings completely.
11.	Is the owner paying for any demolition permits? If not does the owner have an established demolition permit cost?	There will be no cost to the successful Offeror to pull any demolition permits.
12.	Are all utilities terminated from the buildings (Water, Sewer, Storms, Gas, Electric, Communications, etc.)	Gas and electric has been terminated as of the issuance of this RFP. Water and sewer abandonments will be the responsibility of the Contractor as indicated in the RFP documents. Contractor will be responsible for adjusting inlet elevations during final site grading operations.
13.	Are any sidewalks being removed outside the building footprint?	Yes. Sidewalk removal and replacement adjacent to the building is addressed in the financial form.

	Question	Answer
14.	If sidewalks outside the perimeter of the building become damaged as part of equipment passage or debris, is the contractor responsible for repairs?	Yes. The Contractor is responsible for restoring any sidewalks or public areas/objects damaged during demolition or material handling.
15.	Are there any terminations required to be terminated outside the building footprint. Therefore water at the main (STREET), or sewer at the nearest structure (STREET), etc.?	Please see answer to question #12.

Capital Projects
Pre-proposal Conference
Abatement and Demolition Services - Baltimore Vacants Reinvestment Initiative (BVRI)
04/22/2025
9:00 am

Name	Company	Email	Prime or Subcontractor	MDOT MBE Certified	SBR Certified	Attended
Carlos Cordon	Access Construction & Environmental	accessenv@yahoo.com	Subcontractor	No	No	
Tim Hobson	ACM Services, Inc	tim@acmservices.com	Subcontractor	No	No	
Kevin Rogers	ACM Services, Inc	kevinr@acmservices.com	Subcontractor	No	No	
Daniel Zilberman	ACM Services, Inc	daniel@acmservices.com	Subcontractor	No	No	
Justin Turgel	ACM Services, Inc	justin@acmservices.com	Subcontractor	No	No	
Nicholas Trotta	Bergdemo	ntrotta@bergdemo.com				
Scott Anderson	Bergdemo	sanderson@bergdemo.com				
Jr Roloson	Bowen & Kron Enterprises, Inc.	jr@bowen-kron.com	Subcontractor	No	No	
Noah Grover	Bristol Environmental	ngrover@beigroup.com	Subcontractor	No	No	
Steve Danner	Bristol Environmental	spdanner@beigroup.com	Subcontractor	No	No	
James Lang	CCR Hubzone	Tlang@ccrhubzone.com				
Marion Thomas	Diversified Environmental	curthazmat1@gmail.com	Prime	No	No	
Raquel Thomas	Diversified Environmental	meihazmat1@gmail.com	Prime	No	No	
Lee Clark	Envirovantage Inc.	leec@envirovantage.com	Prime	No	No	
Willie Graves	Goel Services, Inc.	willie.graves@goelservices.com	Prime	Yes	No	
Todd Scharf	Goel Services, Inc.	todd.scharf@goelservices.com				
Bert Brewer	Green Demolition Contractors, Inc.	bert@greendemolitioninc.com	Subcontractor	No	No	
Anthony Pascuzzi	Manafort Brothers Incorporated	apascuzzi@manafort.com	Prime	No	No	

Curt Thomas -

William Henson TEC Solutions William-Henson-@hotmail.com

7/15/2015

Brett Purinton	Mayoka Services	brett@mayokaservices.com	Prime	Yes	Yes	
Justin Snyder	Mayoka Services	justin@mayokaservices.com	Prime	Yes	Yes	
Mohammed Arafat	Modulus, LLC.	marafat@moduluscompany.com	Prime	Yes	Yes	
Shihan Jayawardhana	Modulus, LLC.	sjayawardhana@moduluscompany.com	Prime	Yes	Yes	
Dilan Mack	Modulus, LLC.	dmack@moduluscompany.com	Prime	Yes	Yes	
Michael Ritter	Ritter & Paratore Contracting Inc	agustin@rpci.biz	Prime	No	No	
Augustin Martinez	Ritter & Paratore Contracting Inc	agustin@rpci.biz	Prime	No	No	
Francisco Ortiz Torres	S&S Partners, LLC.	ftorres@sandspart.com	Subcontractor	Yes	No	
Rob Isenock	S&S Partners, LLC.	ftorres@sandspart.com	Subcontractor	Yes	No	
Elizabeth Fricia	S&S Partners, LLC.	ftorres@sandspart.com	Subcontractor	Yes	No	
Keith Patterson	Servall, Inc.	Keith@Servallinc.com	Prime	YES	YES	
Chike Okoro	Temporary Wall Systems	chike.okoro@tempwallsystems.com	Subcontractor	No	No	
Shawn Wells	The Berg Corporation	swells@bergdemo.com		No	No	
Olu Aiyetan		unitenterpriseusa@gmail.com				
Oluwaseun Sarr		Oluwaseunsarr@gmail.com				

Robert Swain Swain Enterprises contact@swainenterprises.com prime yes yes
 Maria Snyder Markkeys Services maria@markkeyservices.com sub yes yes

RYAN MORBA NEWBER ENV. SER, INC. ESTIMATING@NEWBERENV.COM PRIME NO NO

Richard Bosnick CCAPS Construction RBosnick@gmail.com sub yes

Shawn Vuj (shawn.vuj@paragon.com) yes
 William Gutierrez Poromec BAYVIEW william@poromec-bayview.com - BENG -

Jeff Walkley Total Wrecking & Inc. Twebids@totalwrecking.com

Jefferson Sedlack Atlantic Environmental Solutions.
atlanticeviro@gmail.com
Tim Gingrich JM+MSA tgingrich@msa.com

410-818-7993 Kwesi MORRISON K&K ENVIRONMENTAL SERVICES kwesi@kandkenvironmental.com
410.523.0857 K&K ADAMS Aaron Singletary MBE Sub 443-277-8567 Cell MBE cert.

ATTACHMENT F
Pricing Form R1
Abatement and Demolition Services - Project B.V.R.I.
BVRI-002 - 1601 E. Lombard Street

Proposing Firm Name: _____

Proposal Date: _____

SUMMARY					
Base Service Description (1601 E. Lombard Stret)	Subtotal Base Bid (B1-B6)	Subtotal Allowances (A1 - A2)	Subtotal Base Bid Plus Allowances	10% Owner Contingency	Base Total
1601 E. Lombard Street	\$0.00	\$0.00	\$0.00	\$ -	\$0.00
Total:					\$0.00

ATTACHMENT F
Pricing Form R1
Abatement and Demolition Services - Project B.V.R.I.
BVRI-002 - 1601 E. Lombard Street

Proposing Firm Name: _____

Proposal Date: _____

Base Services				
	Base Service Description	Base Cost *		Total Base Cost
B1	Perform rodenticide services in accordance with the requirements of the RFP.		/LS	\$0.00
B2	Provide Structural/Civil Engineer and report in accordance with the requirements of the RFP.		/LS	\$0.00
B3	Furnish, install, maintain and remove site security fencing, concrete barriers and sediment erosion control measures in accordance with the requirements of the RFP.		/LS	\$0.00
B4	Perform abatement / demolition and debris removal operations (inclusive of trees and brush within site, AST, UST) in accordance with the requirements of the RFP. All debris to be hauled off and disposed to acceptable and MSA approved disposal		/LS	\$0.00
B5	Perform removal and disposal of concrete parking pad area inclusive of brick retaining wall and fencing in accordance with the requirements of the RFP		/LS	\$0.00
B6	Perform backfill with clean, MSA approved fill, site stabilization (topsoil / seeding) operations in accordance with the requirements of the RFP.		/LS	\$0.00
Subtotal Base Services (B1-B6)				\$0.00

Allowances					
	Allowance Description	Unit Cost *		Allow for	Total Allowance Cost
A1	Complete domestic water and sanitary abandonment services in accordance with the requirements of the RFP.		/Ea	2	\$0.00
A2	Removal and installation of new concrete sidewalks in accordance with the requirements of the RFP (3in CR-6 base and 5in Mix No 2. concrete)		/SF	17,500	\$0.00
Subtotal Allowances (A1-A2)					\$0.00

Other**			
	Other Description	Unit Cost *	
O1	Please provide a per ton unit rate credit in the event rebar is recycled at an accepting facility		/Ton
O2	Please provide a per truck load unit rate credit in the event suitable material is discovered under asphalt parking area and is approved for use		/Load

*Costs include required administration, permitting, documentation and reporting requirements.

**These "Other" costs are not included in the overall costs, but rather stand alones that will be used for the final contract modification during closeout, if necessary.

Comments: